



ACCESSORY DWELLING UIT DESIGN MODEL WORKBOOK



CITY OF MERCED
678 WEST 18TH STREET
MERCED, CA
(209) 385-6858

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PART 1 INTRODUCTION

PART 1. INTRODUCTION TO WORKBOOK

This **Accessory Dwelling Unit Design Model Workbook** serves as visual guide of the floor plans and elevations that are provided in the City of Merced Pre-Approved ADU Program. This program provides floor plans, elevations, and construction plans for detached ADUs at no cost to the participant. Flip through the workbook to see your options and select a layout and style that fits your property.



PRE-APPROVED PLAN OPTIONS

LAYOUTS

- 498 sf. 1 BED/1 BATH
- 749 sf. 1.5 BED/1 BATH
- 1,190 sf. 3 BED/2 BATH

STYLES

- “Canoga” – Board & Batten
- “Lena” – Mission Revival
- “Reseda” – Cottage Style

When you’re ready, contact the City of Merced Inspection Services Division at (209) 385-4773 or inspectionsservicesweb@cityofmerced.org for the full plan set to include in your ADU building permit application.

Looking for more information about ADUs? Check out the **Homeowner’s Guide to ADUs**.

DESIGN CONSIDERATIONS

The pre-approved plans were designed with the following considerations.



The ADU designs aim to strike a balance between **affordable to build and comfortable to live in**. The layouts are designed to adapt to ADA clearances and paths for people with disabilities and aging in place households.



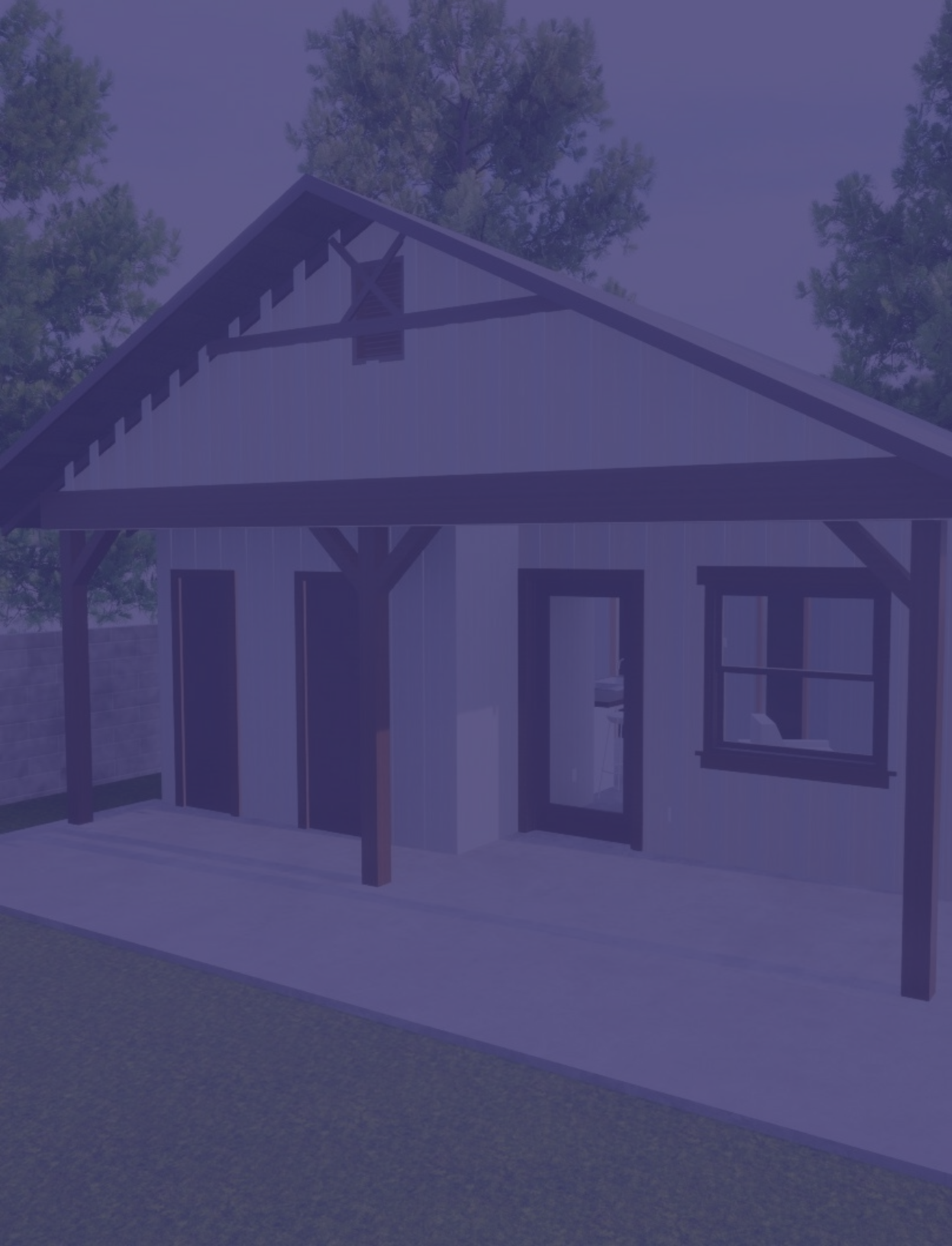
The affordable to build features of the plans use **conventional residential construction**, simple ridge roofs, single-lengths of cabinets, conventional residential appliances (including space for conventional side-by-side washer and dryers), and conventional plumbing fixtures.



The comfortable to live in features use designs for a **quality of life that live like larger houses**: uncluttered plans, daylight interiors with natural light and LED lighting, lines of sight to outdoors, high ceilings, covered porches and patios, and easy to maintain finishes. All designs will accommodate roof trusses built with attic space for additional storage overhead.



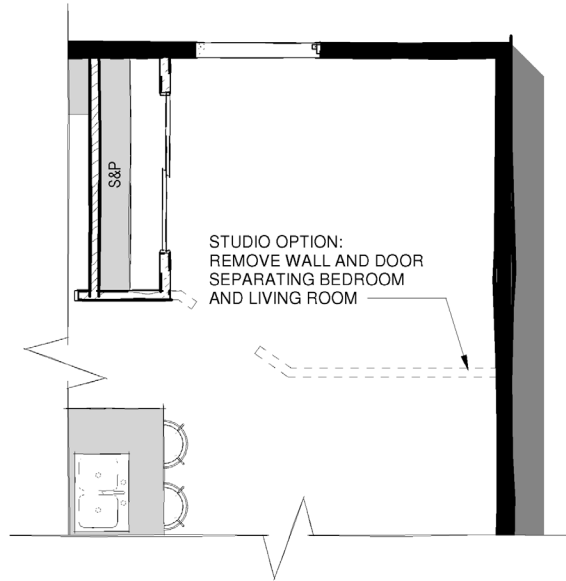
The plans meet the basic requirements of California's Green Building Standards, which translates into **inexpensive utility bills** because of well-insulated roofs and walls, high-efficiency glass, energy efficient lighting and appliances, photovoltaic panels (solar), and water-conserving plumbing.



PART 2 LAYOUTS AND STYLES

FLOOR PLAN OPTION 1: 498 SQUARE FEET / 1 BEDROOM / 1 BATHROOM

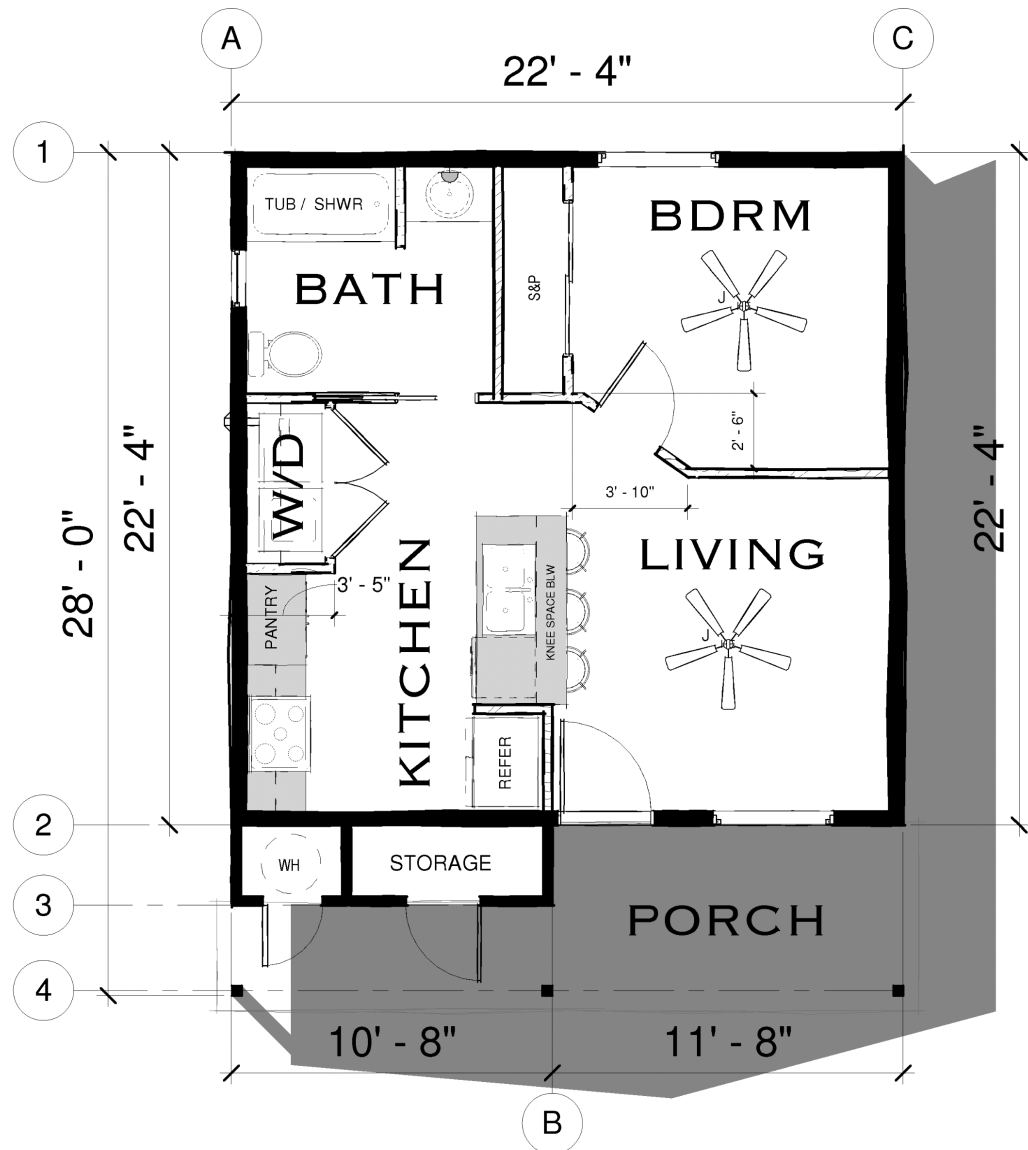
The 498 square foot floor plan provides essential components of a home: a bedroom, living room space, a bathroom, galley kitchen and dining counter, washer and dryer space, and storage. This is a great choice for homeowners on smaller lots searching for a separate living space with least construction costs. A porch design is included as an optional touch to the home. The plan can also be built as a studio plan by removing the wall between the living area and the bedroom. All spaces are designed to fit standard-sized appliances that can be bought at your local stores. The plan requires only a right-sized heating and cooling unit for the small square foot area.



Optional Studio Floor Plan

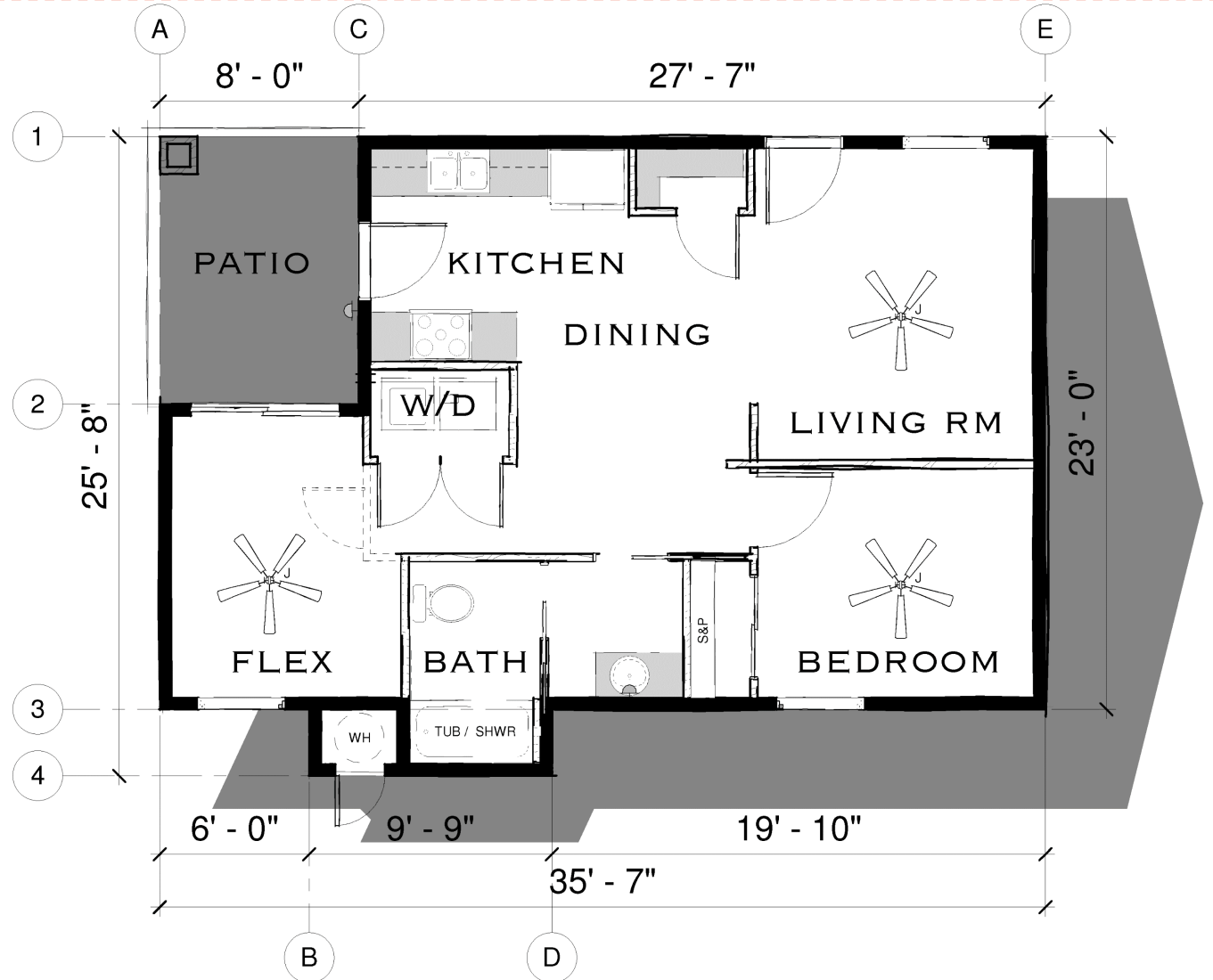
DETAILS

- One (1) bedroom (optional studio)
- One (1) bathroom
- Washer and dryer closet
- Kitchen with pantry closet
- Dining countertop
- Living room
- Three (3) windows



FLOOR PLAN OPTION 2: 749 SQUARE FEET / 1 BEDROOM + 1 FLEX SPACE / 1 BATHROOM

The 749 square foot floor plan provides all components of a home: 1 bedroom, 1 flex space, living room space, kitchen, washer/dryer closet, a bathroom, multiple storage space, and a flex space that can become an additional bedroom by option. The flex space room can be used as a spare room for guest space, home office, media room, or for hobbies. The living, dining, and galley kitchen flow together in one open space and extend out to a private patio to create the feel of a larger space. All spaces are designed to fit standard-sized appliances that can be bought at your local stores.

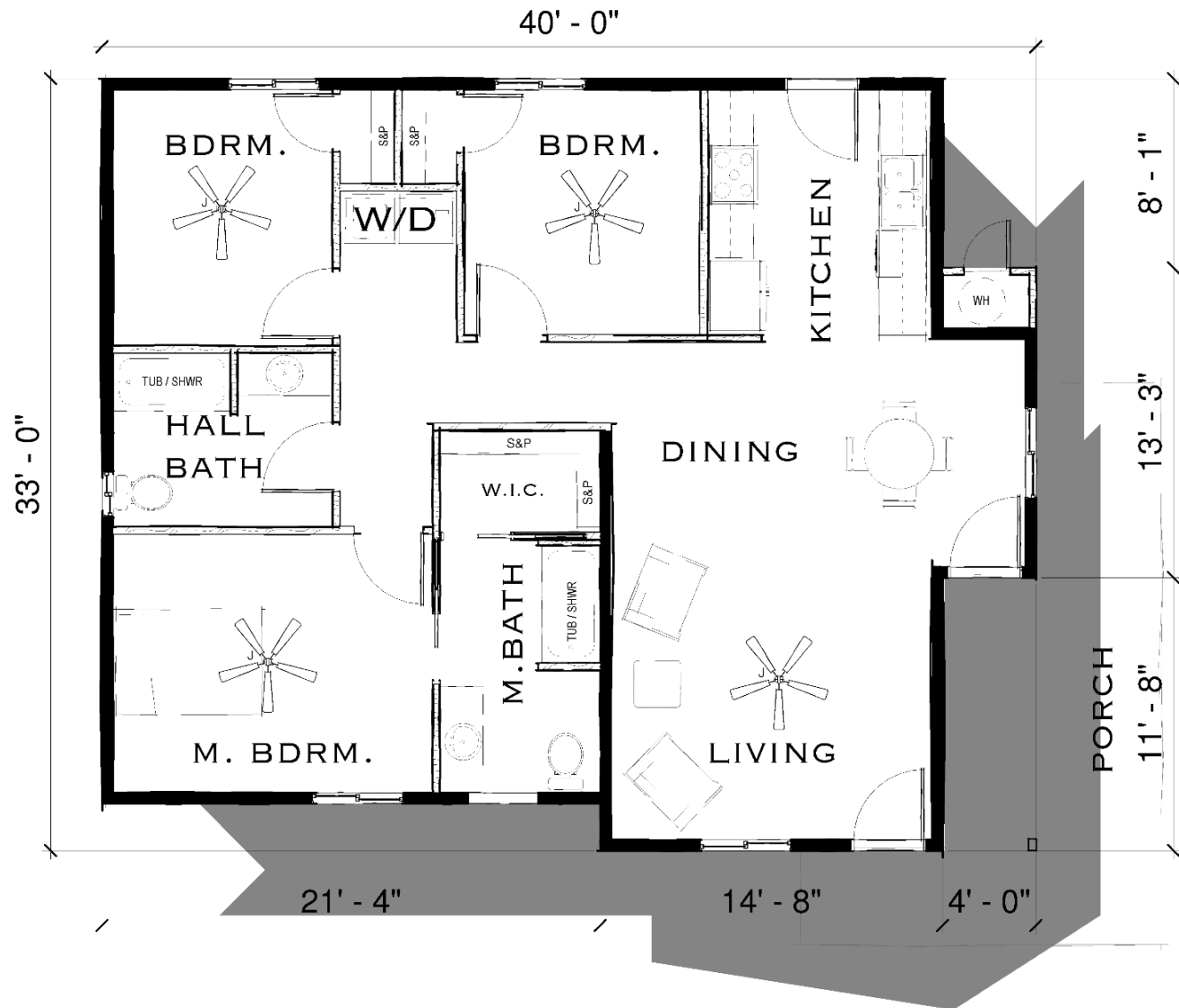


DETAILS

- One (1) bedroom
- One (1) flex space (optional room)
- One (1) bathroom
- Washer and dryer closet
- Kitchen with pantry closet
- Living room
- Dining room
- Four (4) windows

FLOOR PLAN OPTION 3: 1,190 SQUARE FEET / 3 BEDROOM / 2 BATHROOM

The 1,190 square foot floor plan provides all components of a home: dining space, living room, kitchen, washer/dryer closet, 2 bathrooms, and multiple storage space. A garage is also designed to attach to the ADU. Although this plan is a smaller footprint for a three bedroom/two bath plan, room uses were carefully balanced to provide adequate space without compromising “elbow room.” Attention has been paid to furniture layout and traffic patterns between rooms to not create traffic crisscrossing through furniture layouts. All spaces are designed to fit standard-sized appliances that can be bought at your local stores.



DETAILS

- Three (3) bedrooms
- One (1) walk-in closet
- Two (2) bathroom
- Washer and dryer closet
- Kitchen
- Living room
- Dining room
- Eight (8) windows

ELEVATION OPTION 1: CANOGA

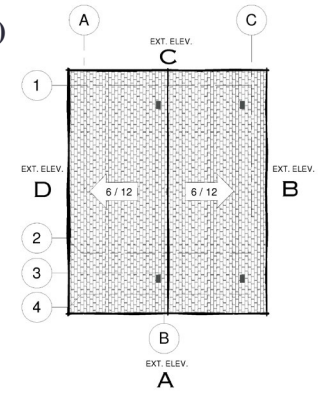
Many historic train stations and town centers in the San Joaquin Valley were wood structures with plank siding and timber features. The Canoga look uses board and batten siding, exposed rafter tails, knee braces, and wood decoration for this look.



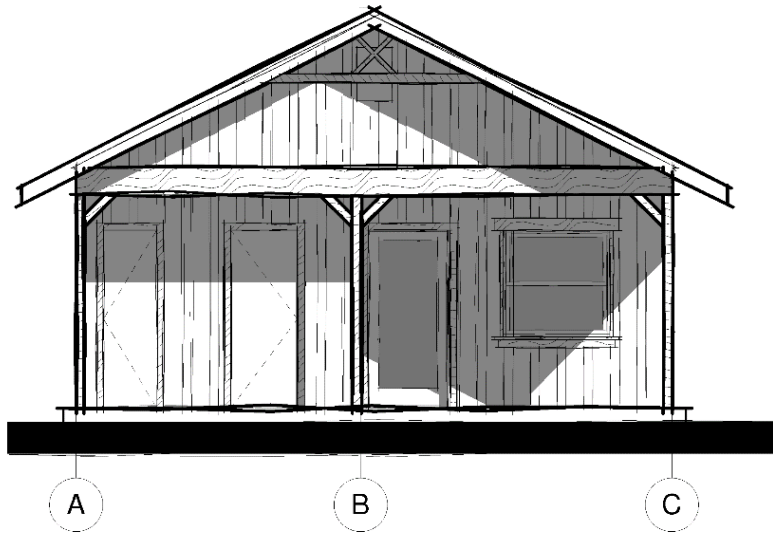
3D Rendering of the 498-sf., Canoga Elevation

ELEVATION OPTION 1: CANOGA – 498 square-foot floor plan

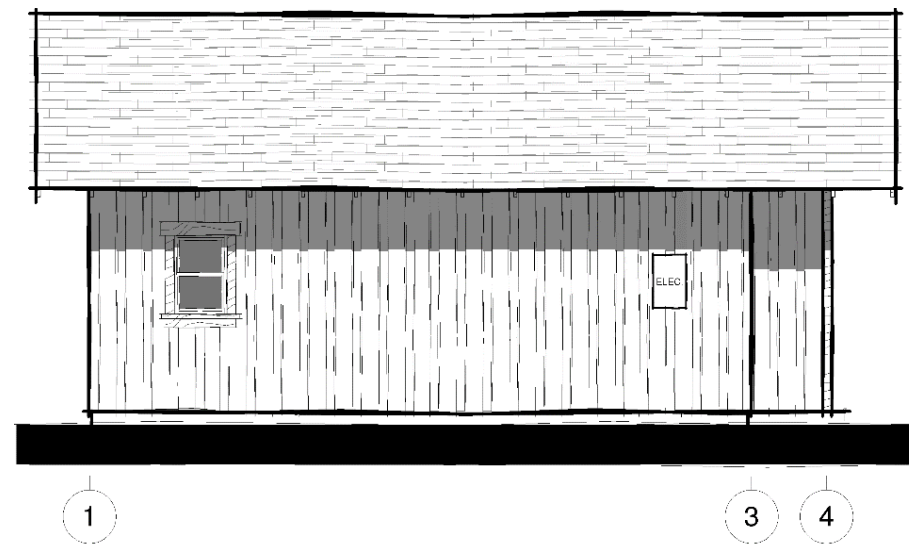
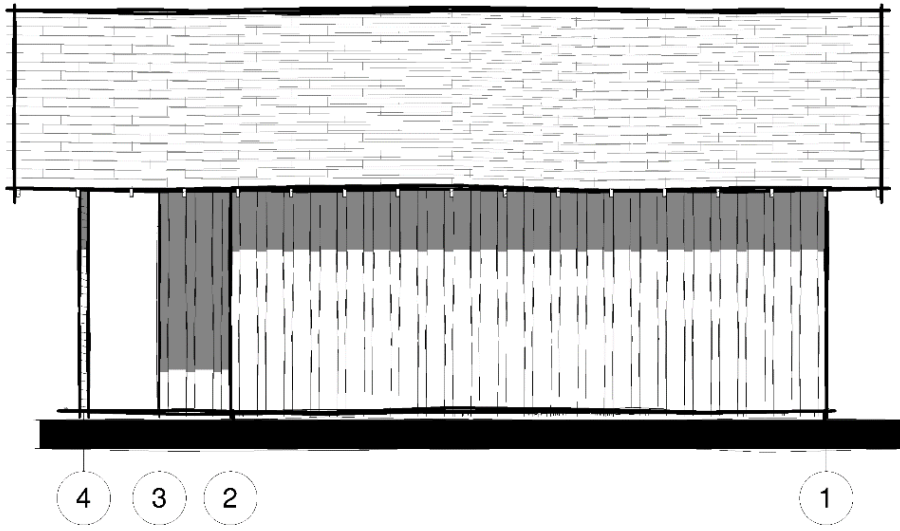
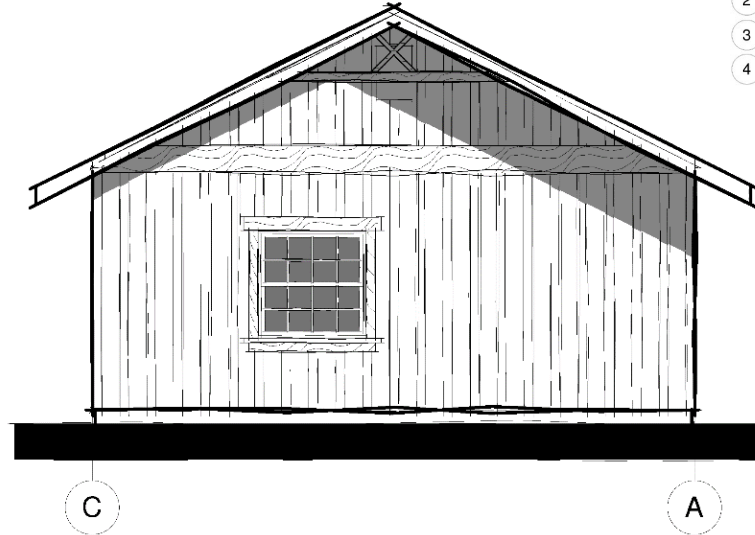
Roof Plan (498-sf.)



Front Elevation (498-sf.)



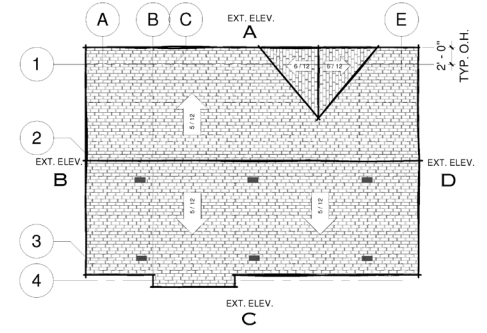
Rear Elevation (498-sf.)



Side Elevations (498-sf.)

ELEVATION OPTION 1: CANOGA – 749 square-foot floor plan

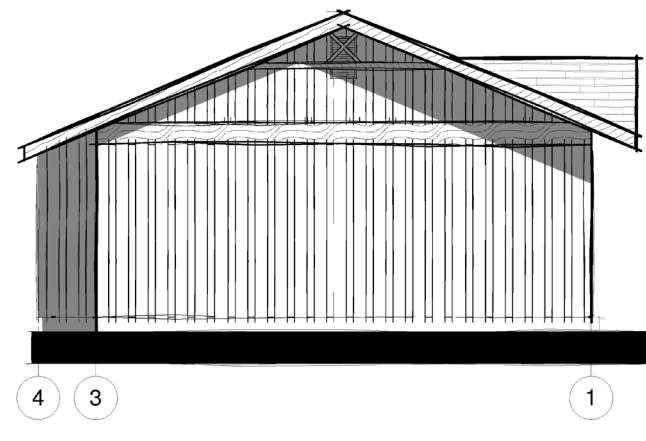
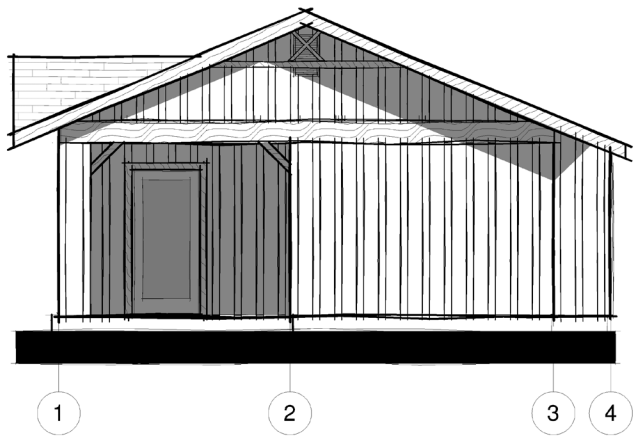
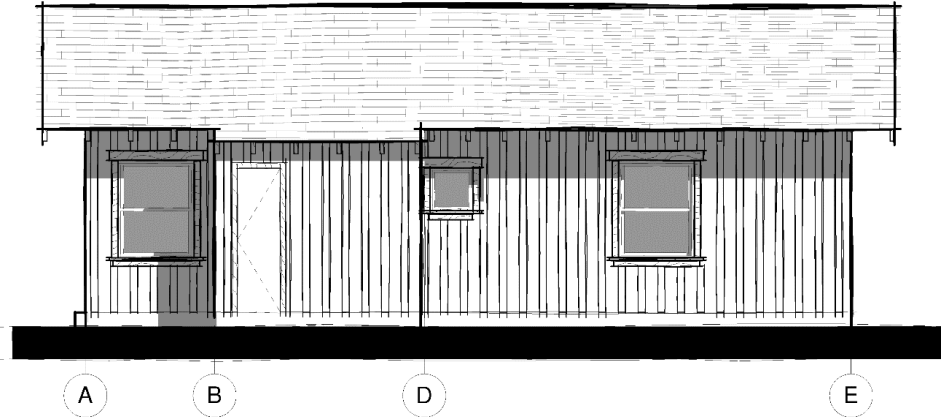
Roof Plan (749-sf.)



Front Elevation (749-sf.)



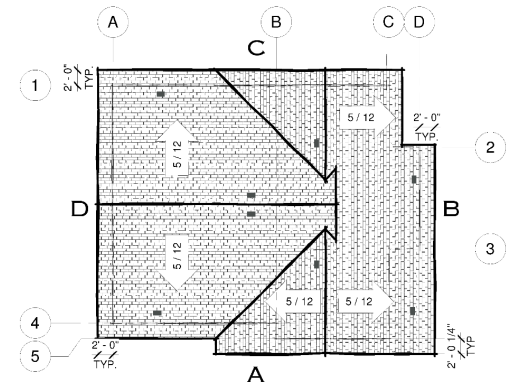
Rear Elevation (749-sf.)



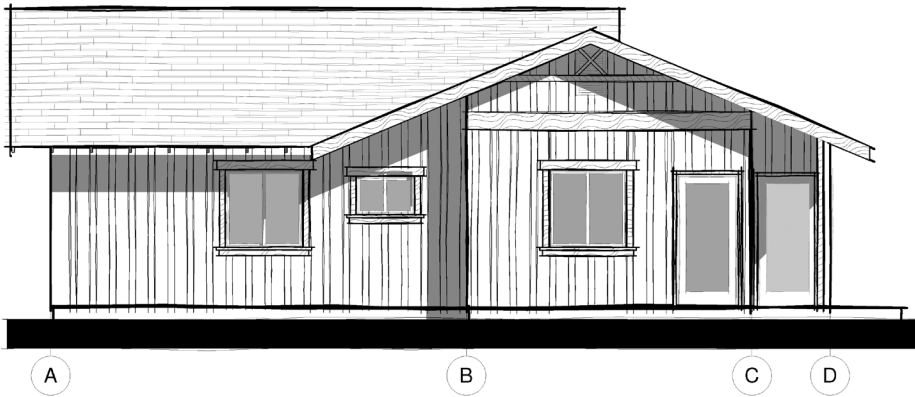
Side Elevations (749-sf.)

ELEVATION OPTION 1: CANOGA – 1,190 square-foot floor plan

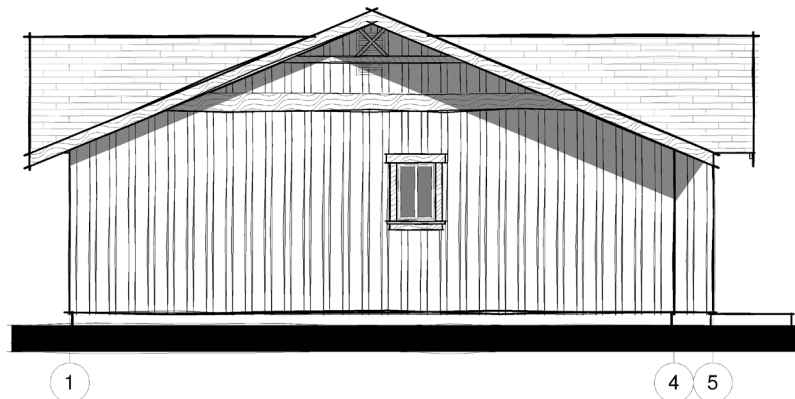
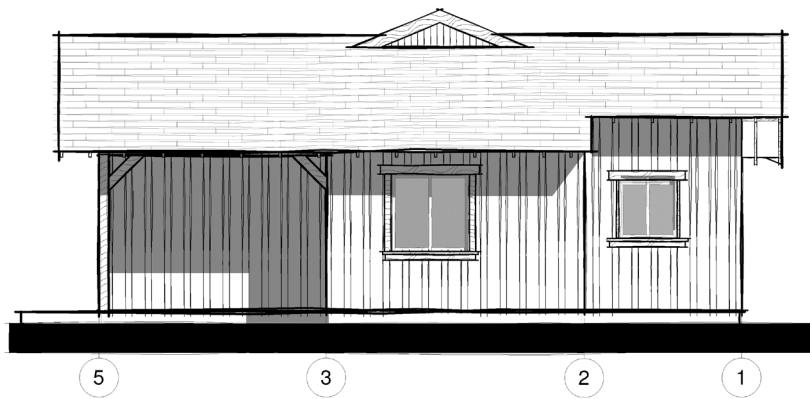
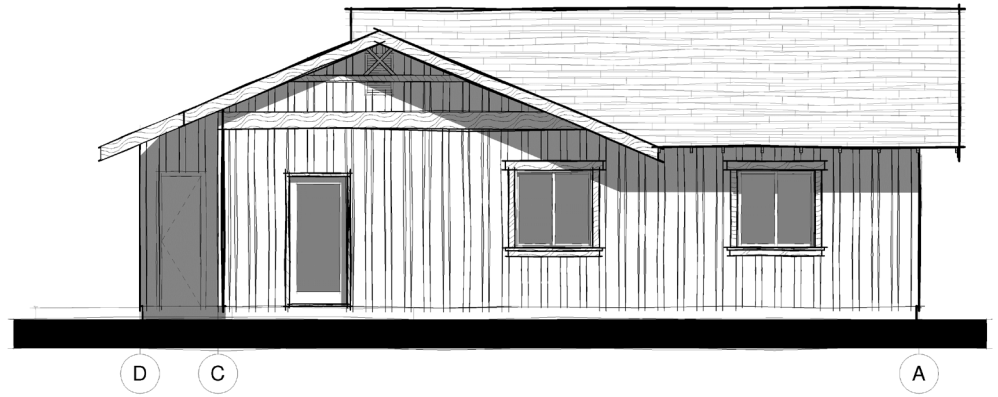
Roof Plan (1,190-sf.)



Front Elevation (1,190-sf.)



Rear Elevation (1,190-sf.)



Side Elevations (1,190-sf.)

ELEVATION OPTION 2: LENA

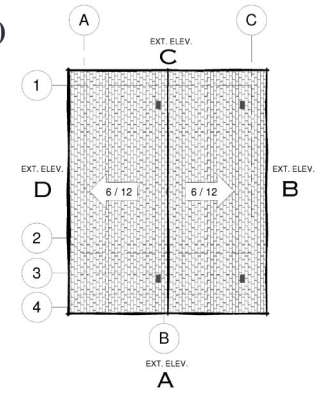
Mission Revival design features are used for the Lena theme: simple clean lines, stucco or stucco-look wood panels, curved arch features, clay pipe attic vents, and stucco bands wrapping doors and windows.



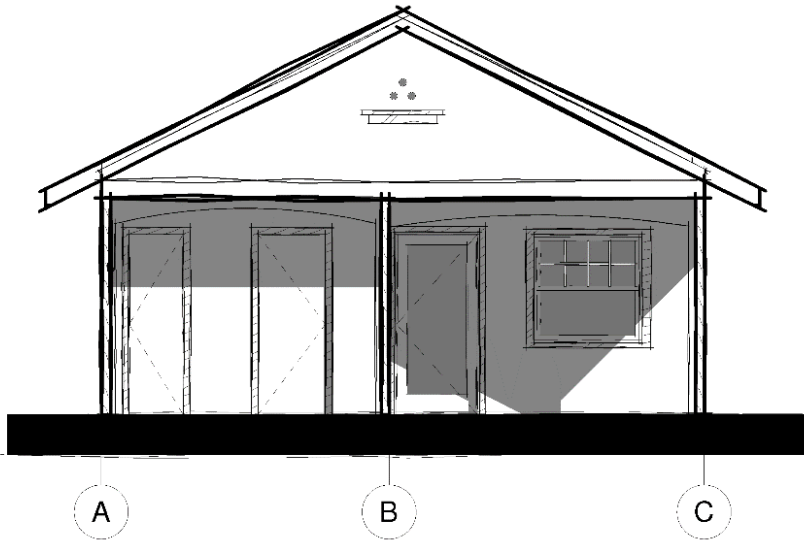
3D Rendering of the 1,190-sf., Lena Elevation

ELEVATION OPTION 2: LENA – 498 square-foot floor plan

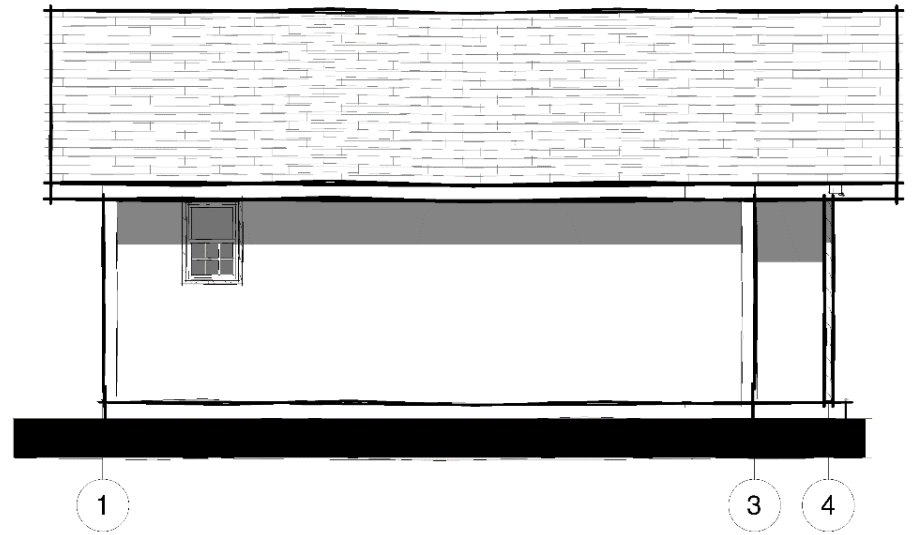
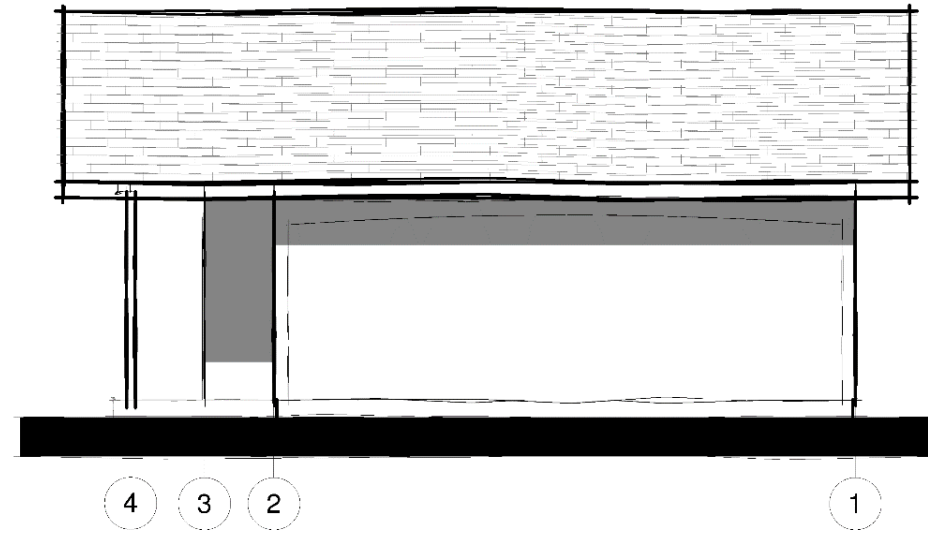
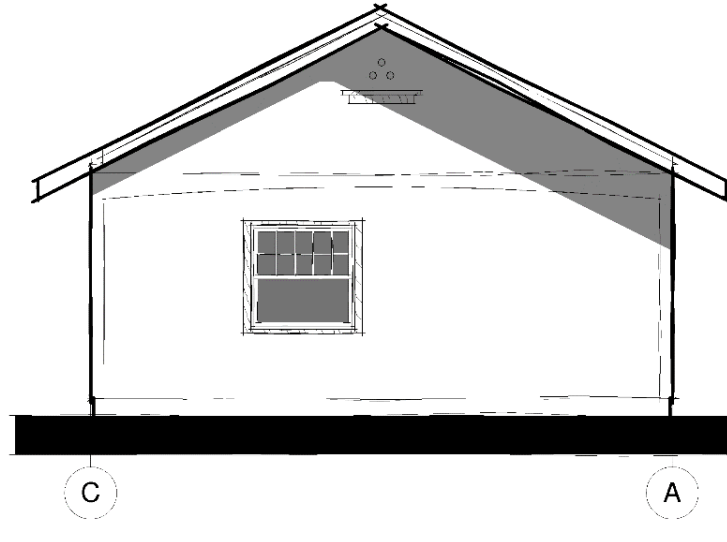
Roof Plan (498-sf.)



Front Elevation (498-sf.)



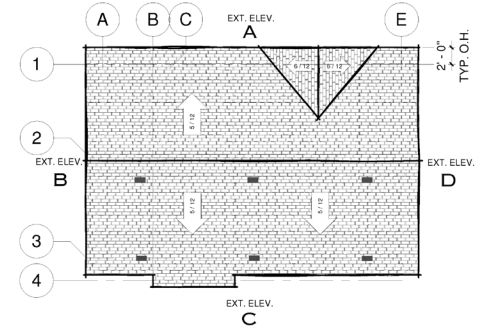
Rear Elevation (498-sf.)



Side Elevations (498-sf.)

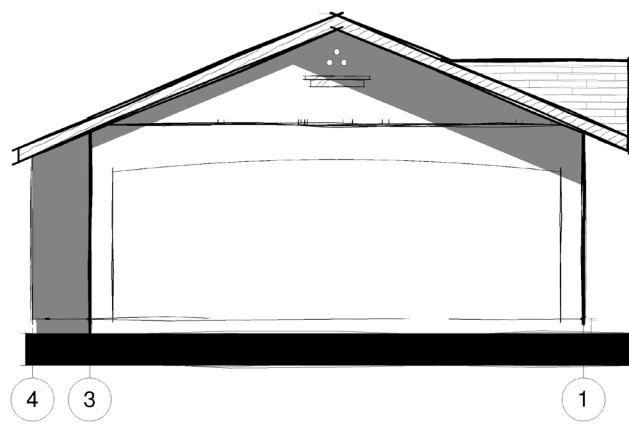
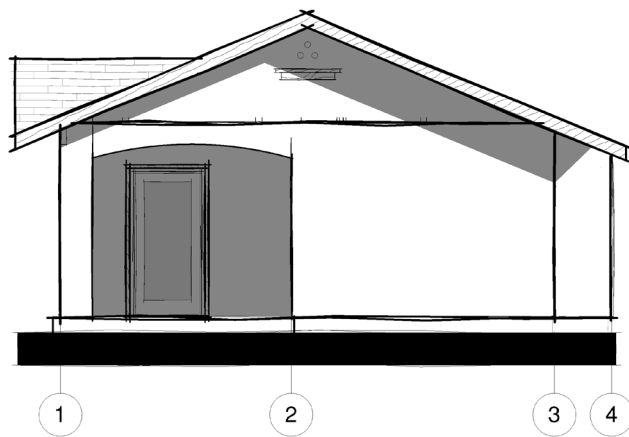
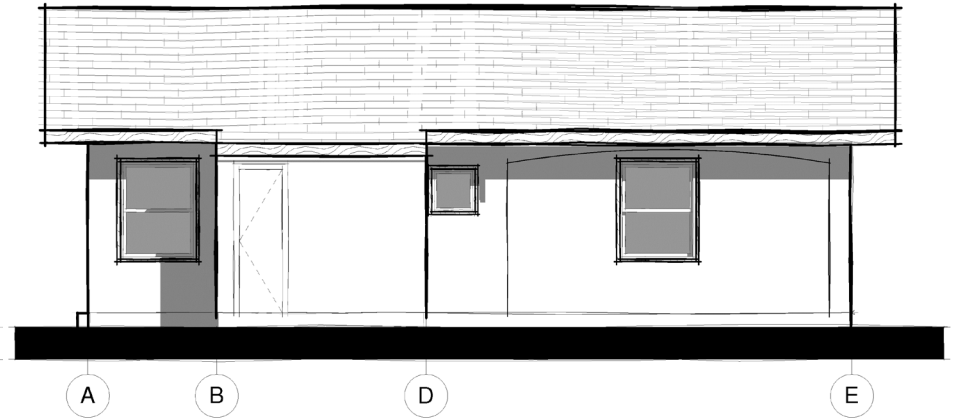
ELEVATION OPTION 2: LENA – 749 square-foot floor plan

Roof Plan (749-sf.)



Front Elevation (749-sf.)

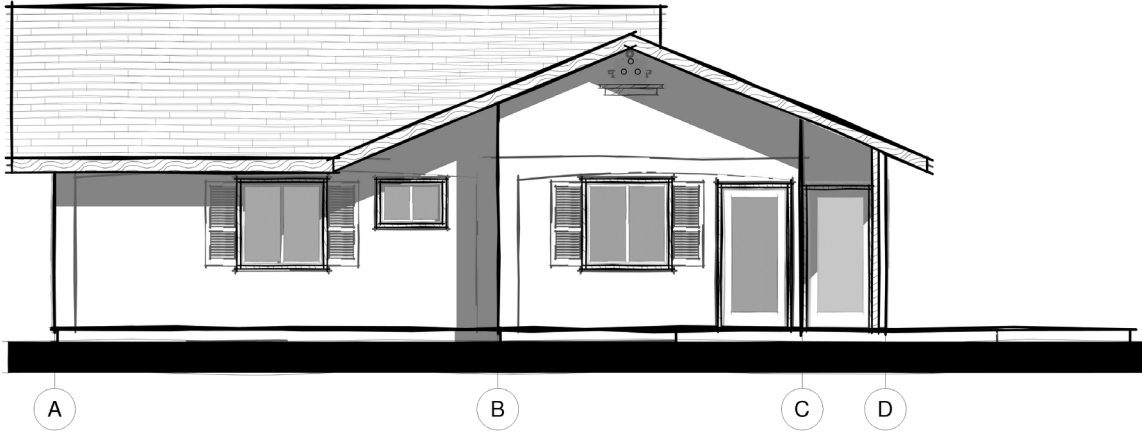
Rear Elevation (749-sf.)



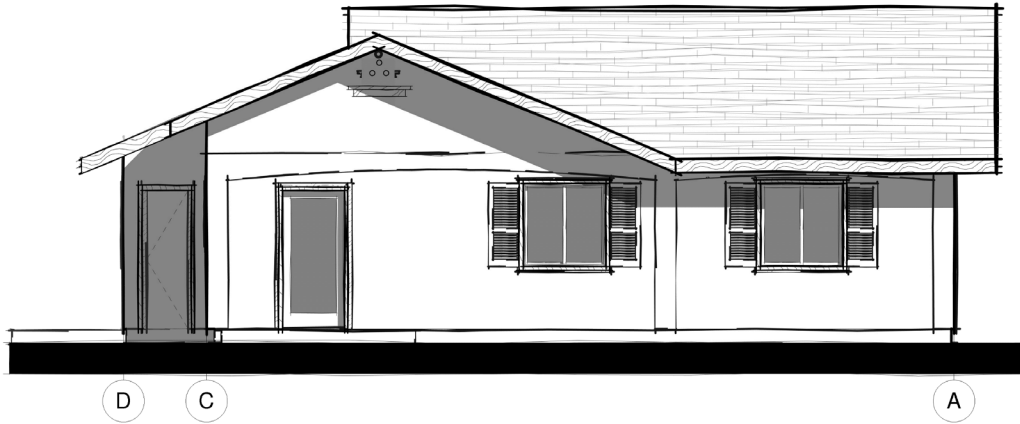
Side Elevations (749-sf.)

ELEVATION OPTION 2: LENA – 1,190 square-foot floor plan

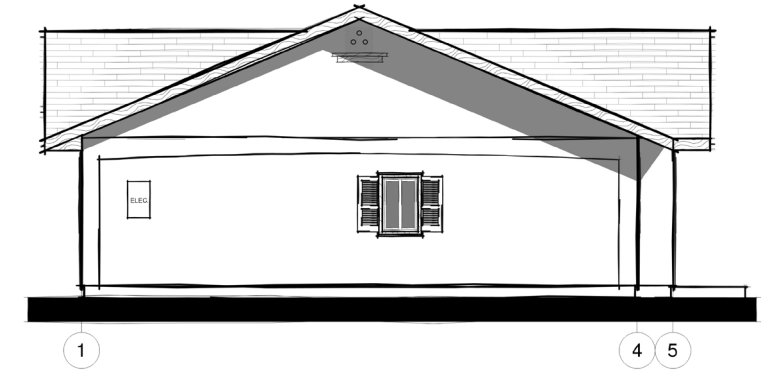
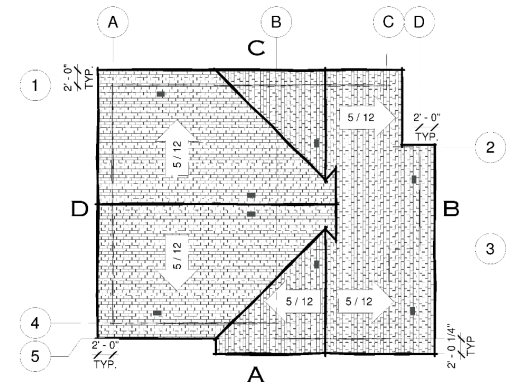
Front Elevation (1,190-sf.)



Rear Elevation (1,190-sf.)



Roof Plan (1,190-sf.)



Side Elevations (1,190-sf.)

ELEVATION OPTION 3: RESEDA

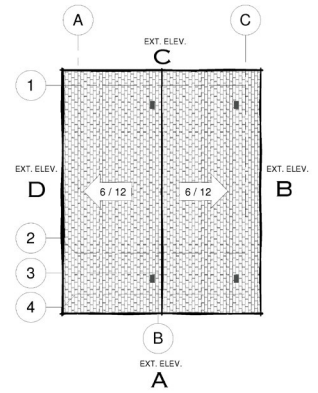
Cottage style houses are seen everywhere in San Joaquin Valley towns, and so many great examples survive today that the Reseda theme will match. Horizontal lapped siding, shutters, exposed rafter tails and fascias, and wood trim and panels make up the look.



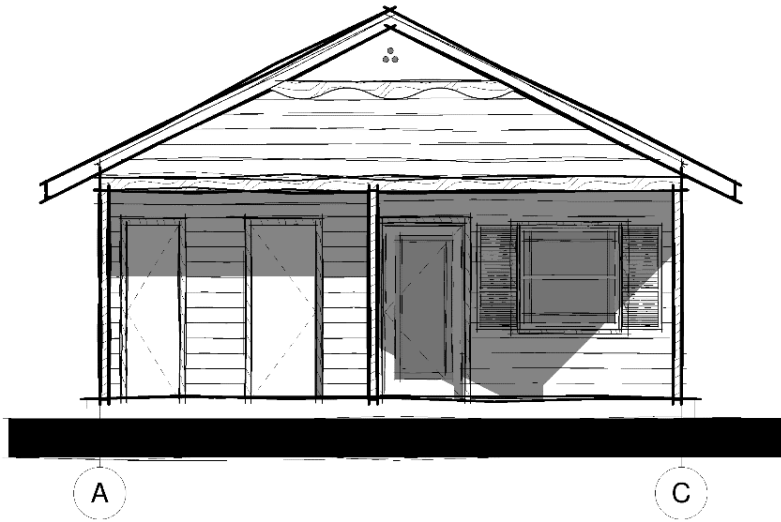
3D Rendering of the 749-sf., Reseda Elevation

ELEVATION OPTION 3: RESEDA – 498 square-foot floor plan

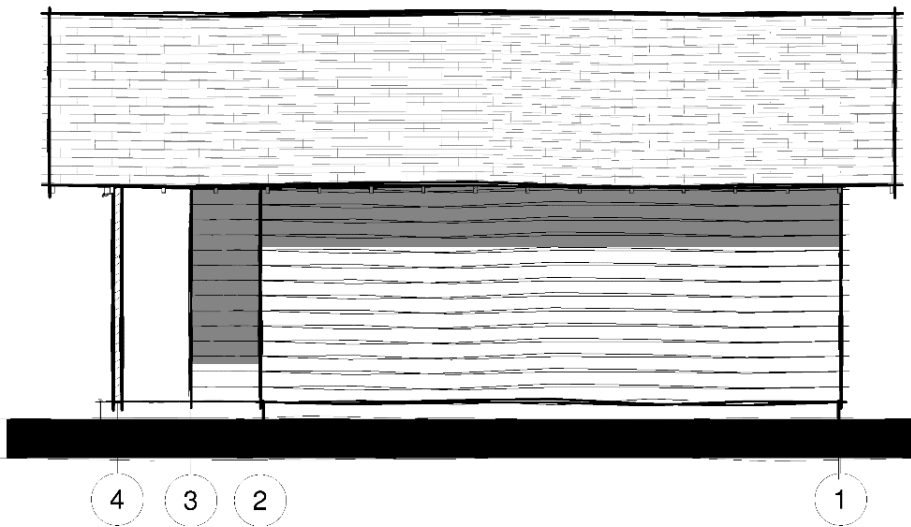
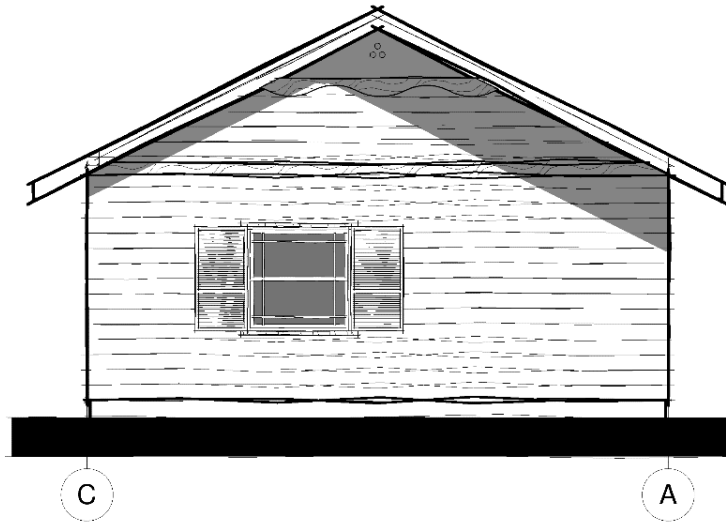
Roof Plan (498-sf.)



Front Elevation (498-sf.)



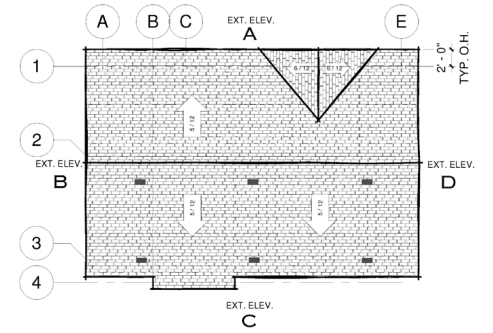
Rear Elevation (498-sf.)



Side Elevations (498-sf.)

ELEVATION OPTION 3: RESEDA – 749 square-foot floor plan

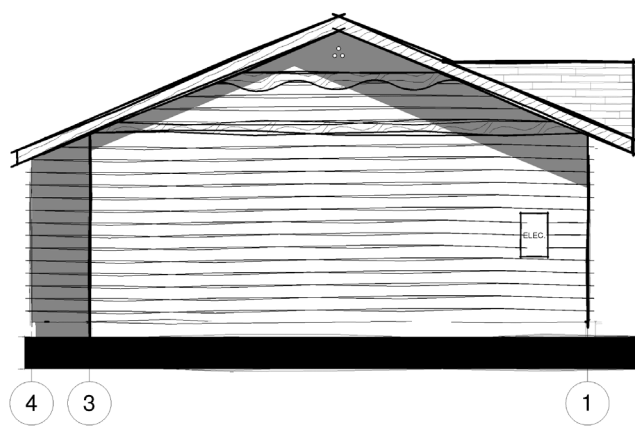
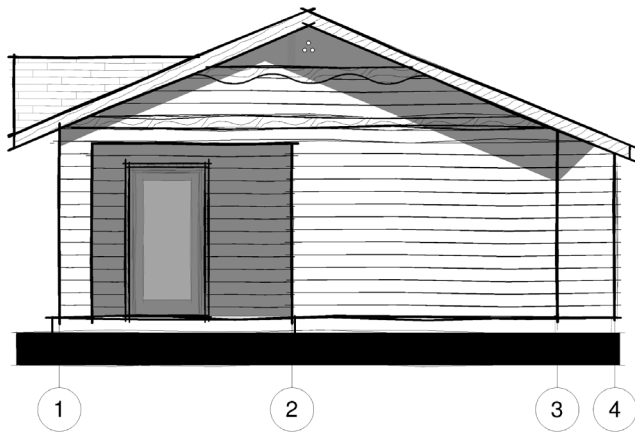
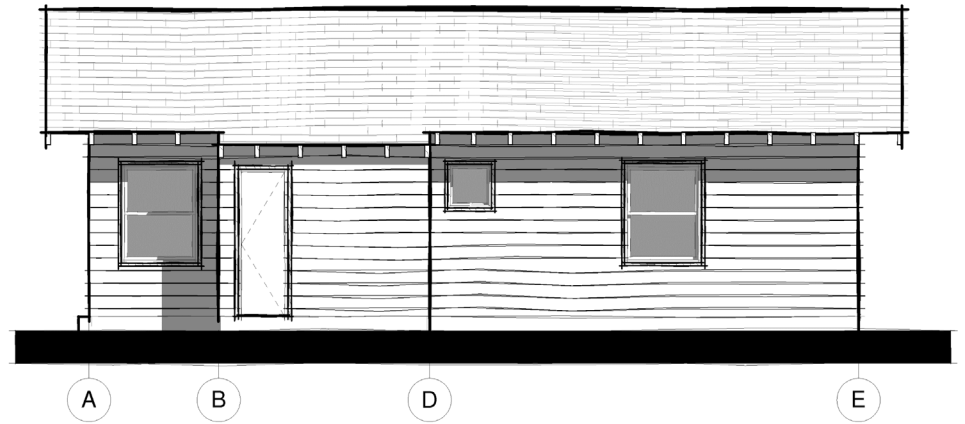
Roof Plan (749-sf.)



Front Elevation (749-sf.)



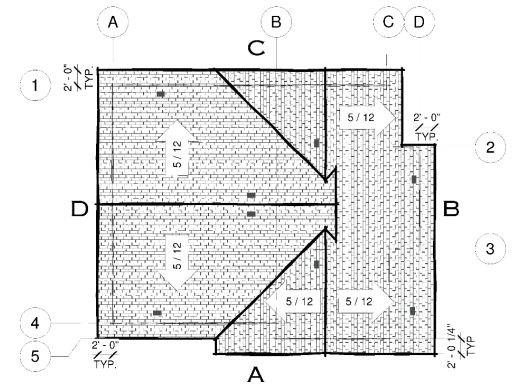
Rear Elevation (749-sf.)



Side Elevations (749-sf.)

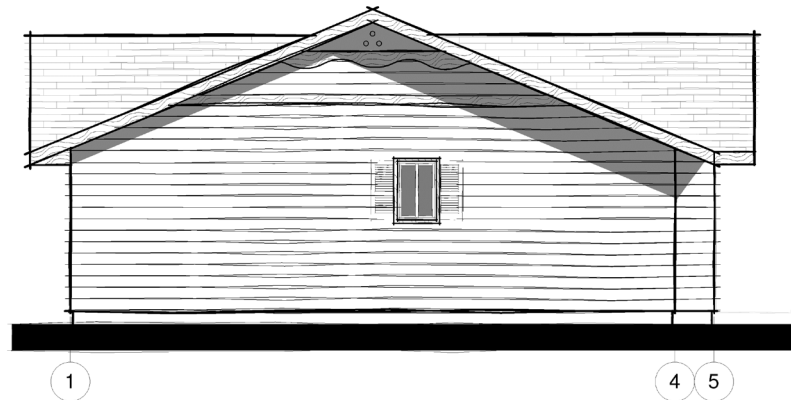
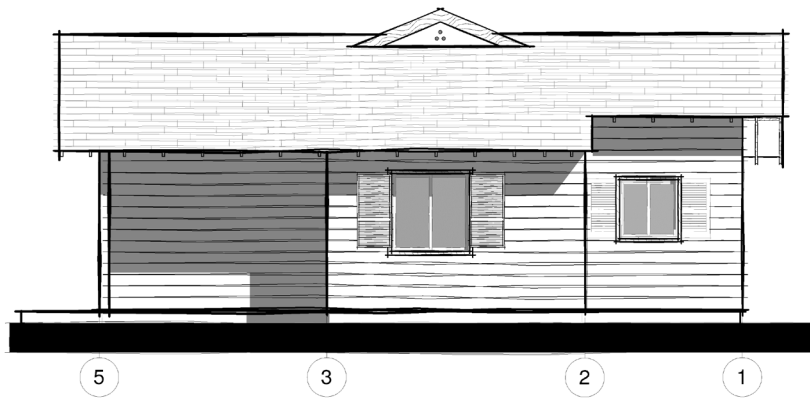
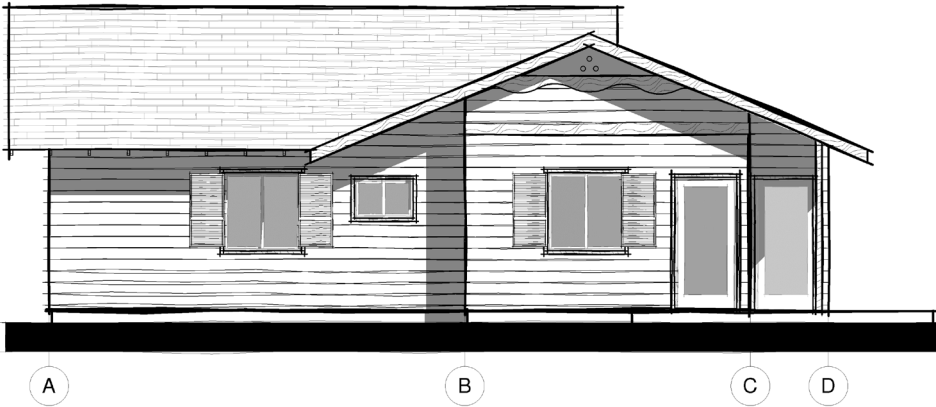
ELEVATION OPTION 3: RESEDA – 1,190 square-foot floor plan

Roof Plan (1,190-sf.)



Front Elevation (1,190-sf.)

Rear Elevation (1,190-sf.)



Side Elevations (1,190-sf.)

WHAT'S INCLUDED

Complete plan sets include the following sheets/details for different-sized floor plans.

498 Square Feet sheet index:

G0.1 NOTES & SYMBOLS
G0.2 CA GREEN BUILDING SHEET 1
G0.3 CA GREEN BUILDING SHEET 2
A1.1 FLOOR PLAN / CROSS SECTION / ELEVATIONS / ROOF PLAN
S1.1 STRUCTURAL PLAN
A5.1 FOUNDATION DETAILS
A5.2 FRAMING DETAILS
A5.3 NOTES
A5.4 NOTES
P1.1 PLUMBING PLAN
M.01 HEATING, VENTILATION AND AIR CONDITIONING
EN.02 ENERGY COMPLIANCE
E1.1 PANEL SCHEDULE & 1 LINE DIAGRAM

749 Square Feet sheet index:

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1,190 Square Feet sheet index:

G0.1 NOTES & SYMBOLS
G0.2 CA GREEN BUILDING SHEET 1
G0.3 CA GREEN BUILDING SHEET 2
A1.1 FLOOR PLAN / CROSS SECTION / EXTERIORS
S1.1 FOUNDATION PLAN / BRACED WALL PLAN
S1.2 ROOF FRAMING PLAN / ROOF PLAN
A5.1 FOUNDATION DETAILS
A5.2 FRAMING DETAILS

A5.3 NOTES
A5.4 NOTES
P1.1 PLUMBING PLAN
M.01 HEATING, VENTILATION AND AIR CONDITIONING
M.02 HEATING, VENTILATION AND AIR CONDITIONING
EN.02 ENERGY COMPLIANCE
E1.1 PANEL SCHEDULE & 1 LINE DIAGRAM



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